

DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A SHOPTOP HOUSING  
AT 352 KING GEORGES RD, BEVERLY HILLS 2209

**BASIX** Certificate  
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 12562628\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 14 November 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	352 King Georges Rd, Beverly Hills_03	
Street address	352 King Georges Road Beverly Hills 2209	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited DP 13622	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name: EPW Designs	
ABN (if applicable): 33258955413	

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Description of project

Project address	
Project name	352 King Georges Rd, Beverly Hills_03
Street address	352 King Georges Road Beverly Hills 2209
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP 13622
Lot no.	1
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	164
Roof area (m²)	93
Conditioned floor area (m2)	180.4
Unconditioned floor area (m2)	41.7
Total area of garden and lawn (m2)	0

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m²/year)	n/a	
Area adjusted heating load (MJ/m²/year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage test) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 86 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

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Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground, 157 square metres	nil			
floor - above habitable rooms or mezzanine, 65.1 square metres, concrete	nil			
floor - suspended floor above garage, concrete	nil			
external wall - concrete panel/plasterboard (concrete: 150 mm)	2.09 (or 2.40 including construction)	concrete/plasterboard internal; light (solar absorptance < 0.475)		
ceiling and roof - flat ceiling / flat roof, concrete/plasterboard internal	ceiling: 2.82 (up), roof: none			
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check		
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓		
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓		
- Aluminium single clear					
- Aluminium double (air) clear					
- Timber/uPVC/fibreglass single clear					
- Timber/uPVC/fibreglass double (air) clear					
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓		
Skylight no.	Maximum area (square metres)	Type	Shading device		
S01	1.08	aluminium, moulded plastic single clear	no shading		
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W2	1500	1800	aluminium, single, clear	solid overhang 450 mm, 300 mm above head of window or glazed door	not overshadowed
W2	1500	1800	aluminium, single, clear	solid overhang 450 mm, 300 mm above head of window or glazed door	not overshadowed

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
D3	2100	2100	aluminium, single, clear	verandah 3000 mm, 300 mm above base of window or glazed door	not overshadowed
D3	2100	2100	aluminium, single, clear	verandah 3000 mm, 300 mm above base of window or glazed door	not overshadowed
West facing					
D3	2100	2100	aluminium, single, clear	solid overhang 1000 mm, 300 mm above head of window or glazed door	not overshadowed
W1	2800	1000	aluminium, single, clear	none	not overshadowed
D3	2100	2100	aluminium, single, clear	solid overhang 2000 mm, 300 mm above head of window or glazed door	not overshadowed
D3	2100	2100	aluminium, single, clear	solid overhang 2000 mm, 300 mm above head of window or glazed door	not overshadowed
W1	2800	1000	aluminium, single, clear	none	not overshadowed
D3	2100	2100	aluminium, single, clear	solid overhang 1000 mm, 300 mm above head of window or glazed door	not overshadowed
W1	2800	1000	aluminium, single, clear	none	not overshadowed
D1	2800	900	aluminium, single, clear	none	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 6 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 6 Star (old label)		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 6 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 6 Star (old label)		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study;		✓	✓


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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 2 of the living / dining rooms;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "u" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "u" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "u" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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<div>GENERAL NOTES</div> <div><div>- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.</div><div>- ALL DIMENSIONS ARE IN MILLIMETRES.</div><div>- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE</div><div>- GROUND LEVELS ARE APPROXIMATE ONLY.</div><div>- ALL TIMBER FRAME WORKS SHALL BE IN ACCORDANCE WITH TIMBER FRAME CODE.</div></div>	REVISION	AMENDMENTS	Date	<div></div>	<div>EPW<div>109 WOOLCOTT ST. EARLWOOD NSW 2206</div><div>P (02) 9591 5292 M 0402206326 E epwdesigns@gmail.com</div></div>	<div>DRAWING TITLE: BASIX COMMITMENTS</div> <div>DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A SHOPTOP HOUSING</div> <div>AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209</div>		PLOT DATE: 22/05/2025 4:59:53 PM		
	SCALE: (A3)									
	DRAWN BY: LN									
	SECTION 4.55 (1a) MODIFICATION		SHEET:			S4.55 00				

LEGEND

EXISTING WALL

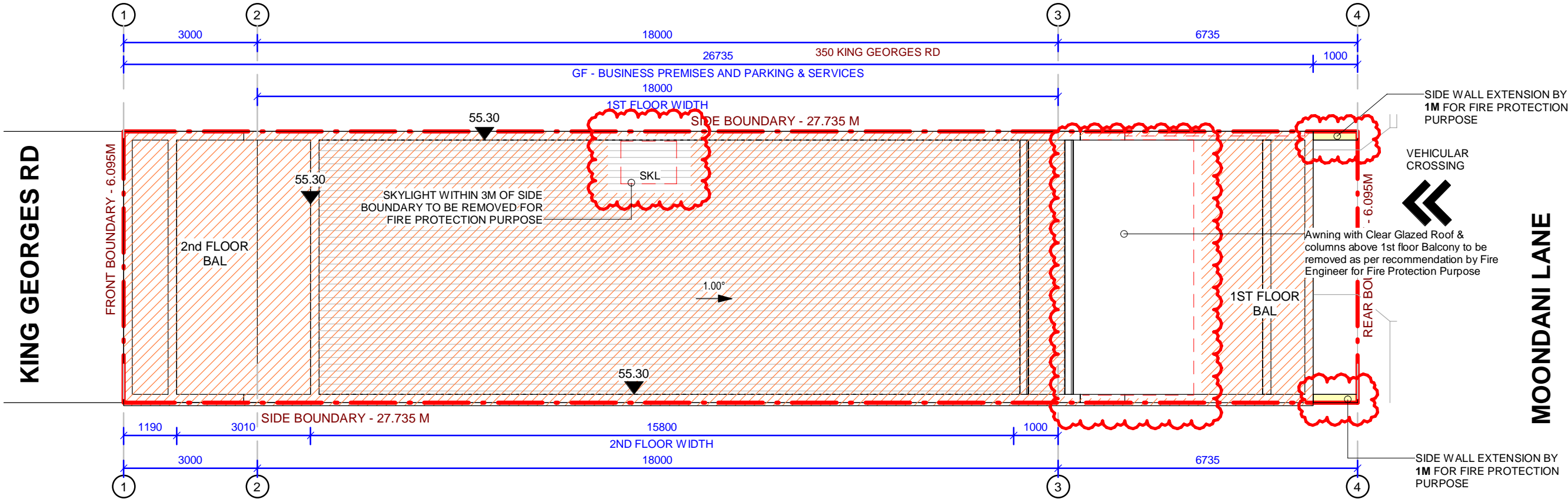
PROPOSED NEW WALL

DA APPROVED PART

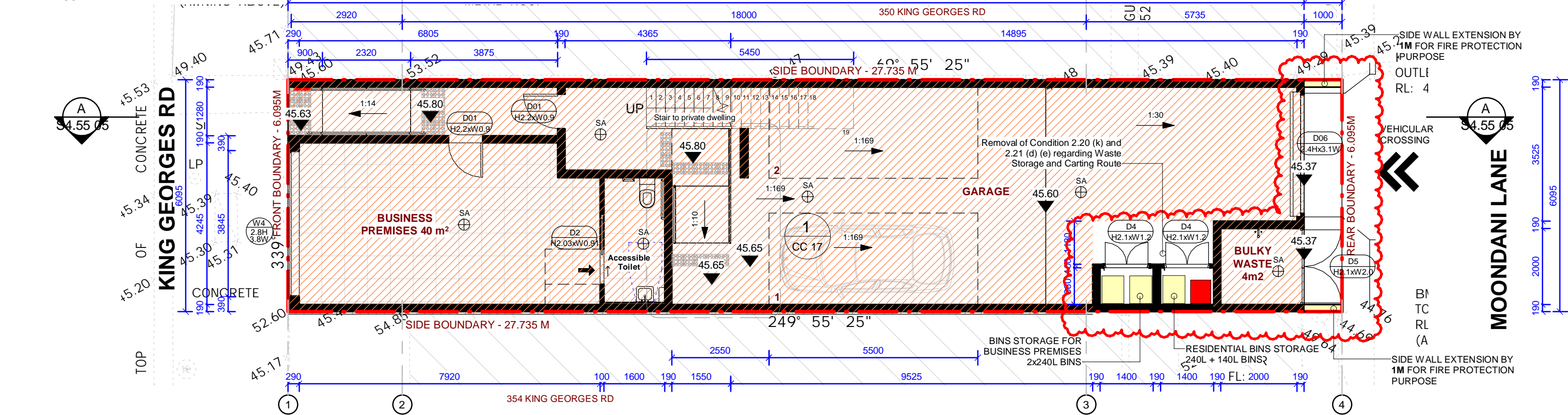
NEW PROPOSAL

Clothes Line

Smoke Alarm to comply with AS.3786



1 SITE PLAN  
1 : 100



2 GROUND FLOOR PLAN  
1 : 100

GENERAL NOTES

- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.
- ALL DIMENSIONS ARE IN MILLIMETRES.
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- GROUND LEVELS ARE APPROXIMATE ONLY.
- ALL TIMBER FRAME WORKS SHALL BE IN ACCORDANCE WITH TIMBER FRAME CODE.

REVISION	AMENDMENTS	Date
1	Amendment to Council	23/1/22
2	Revision 2	2/2/22
3	Front facade	23/2/2022
4	Revision 3	13/2/25
5	Issue for S4.55	23/05/25



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DRAWING TITLE:  
SITE PLAN & GROUND FLOOR

DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A  
SHOPTOP HOUSING  
AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209

SECTION 4.55 (1a) MODIFICATION

PLOT DATE: 22/05/2025  
4:59:54 PM

SCALE: As indicated (A3)

DRAWN BY: LN

SHEET: S4.55 01



**LEGEND**

EXISTING WALL

PROPOSED NEW WALL

DA APPROVED PART

NEW PROPOSAL

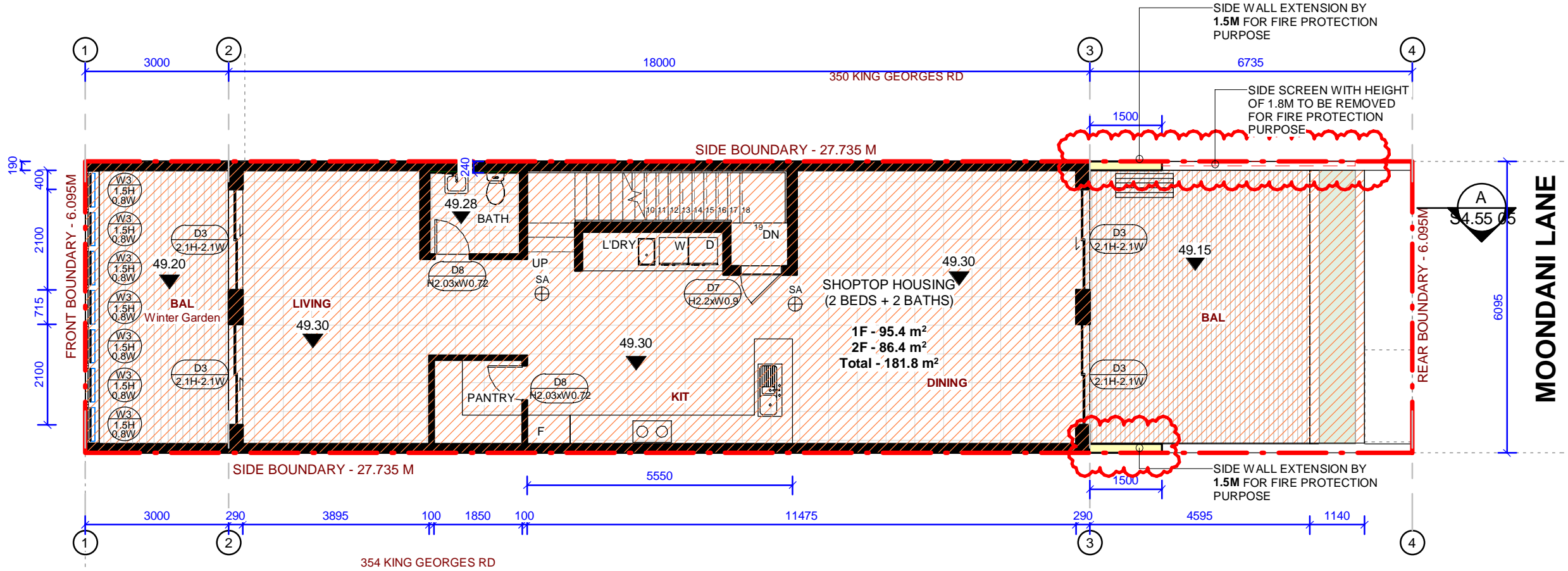
Clothes Line

Smoke Alarm to comply with AS.3786

SA

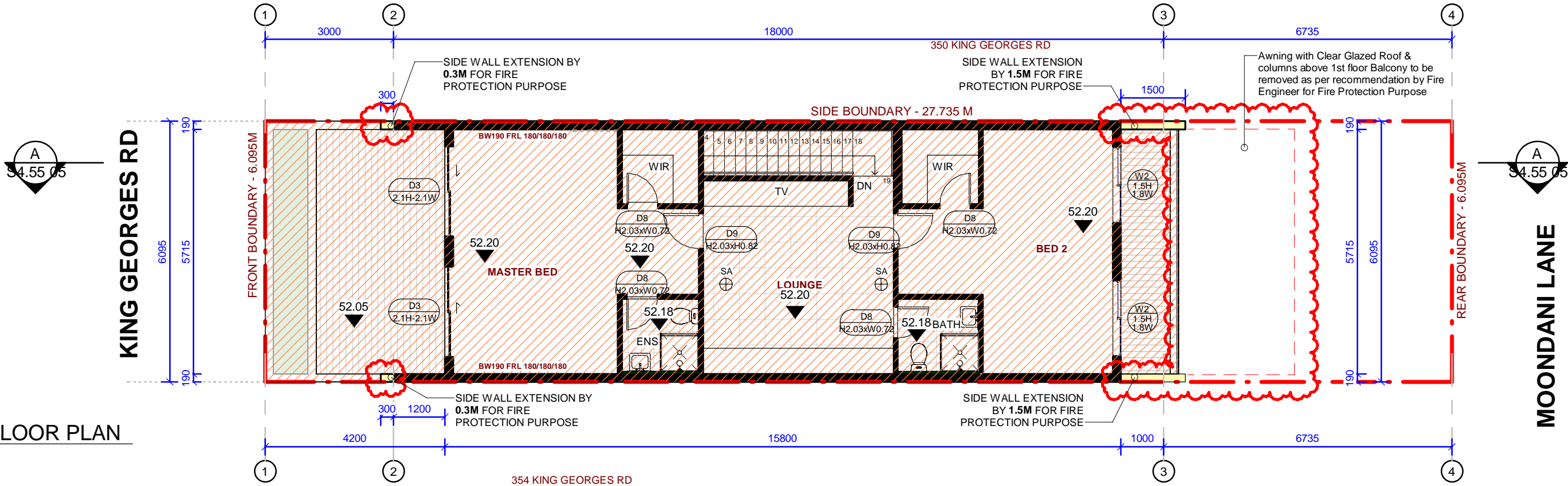
A  
S4.55 05

KING GEORGES RD



1 FIRST FLOOR PLAN

1 : 100



2 SECOND FLOOR PLAN

1 : 100

**GENERAL NOTES**

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5	Issue for S4.55	23/05/25



**EPW** 109 WOOLCOTT ST.  
EARLWOOD NSW 2206

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**DRAWING TITLE:**  
FIRST & SECOND FLOOR

DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A  
SHOPTOP HOUSING  
AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209

**SECTION 4.55 (1a) MODIFICATION**

PLOT DATE:	22/05/2025 4:59:56 PM
SCALE:	As indicated (A3)
DRAWN BY:	LN
SHEET:	S4.55 02

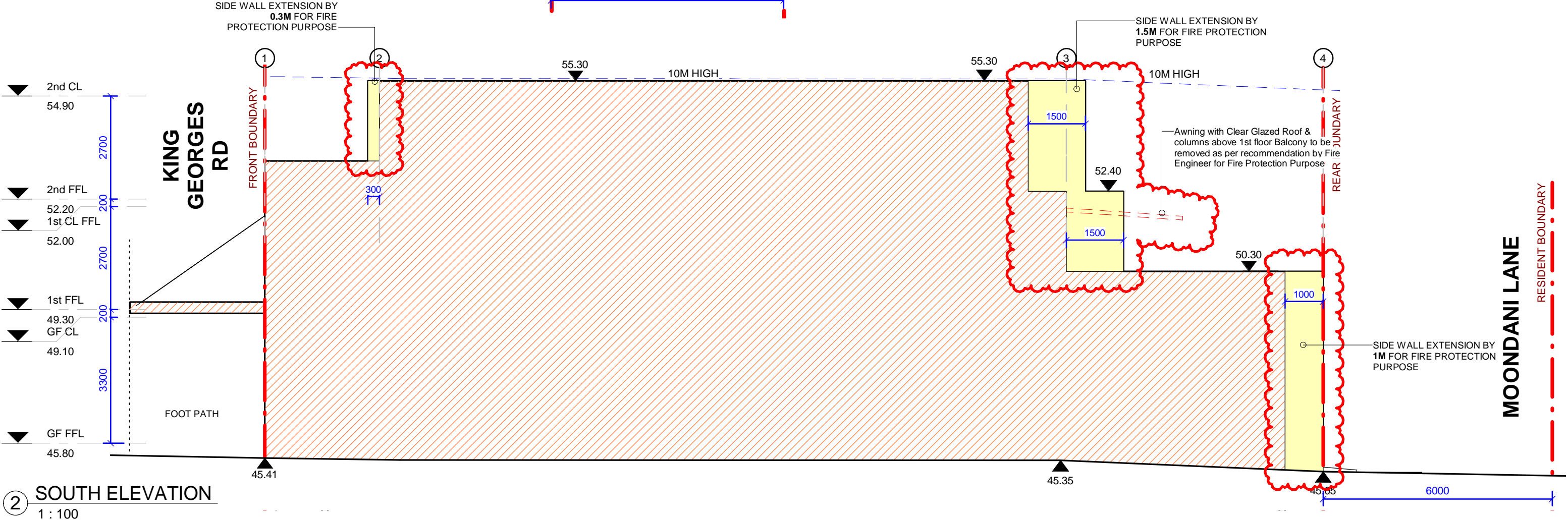
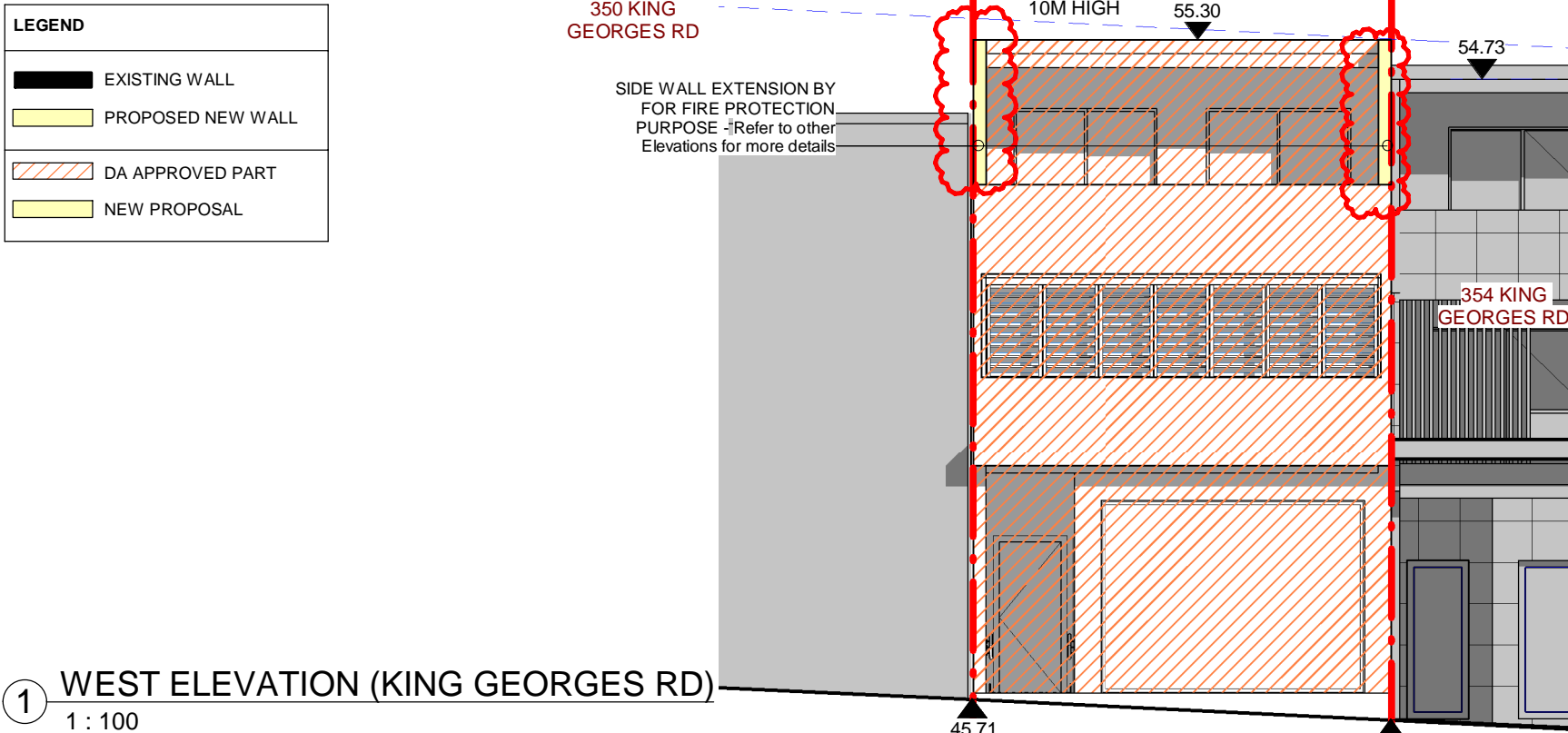
LEGEND

EXISTING WALL

PROPOSED NEW WALL

DA APPROVED PART

NEW PROPOSAL



GENERAL NOTES

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3	Front facade	23/2/2022
4	Revision 3	13/2/25
5	Issue for S4.55	23/05/25

EPW

109 WOOLCOTT ST.  
EARLWOOD NSW 2206

P

M

E

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DRAWING TITLE:

SOUTH & WEST ELEVATIONS

DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A SHOPTOP HOUSING

AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209

SECTION 4.55 (1a) MODIFICATION

PLOT DATE:

22/05/2025  
4:59:59 PM

SCALE:

As indicated (A3)

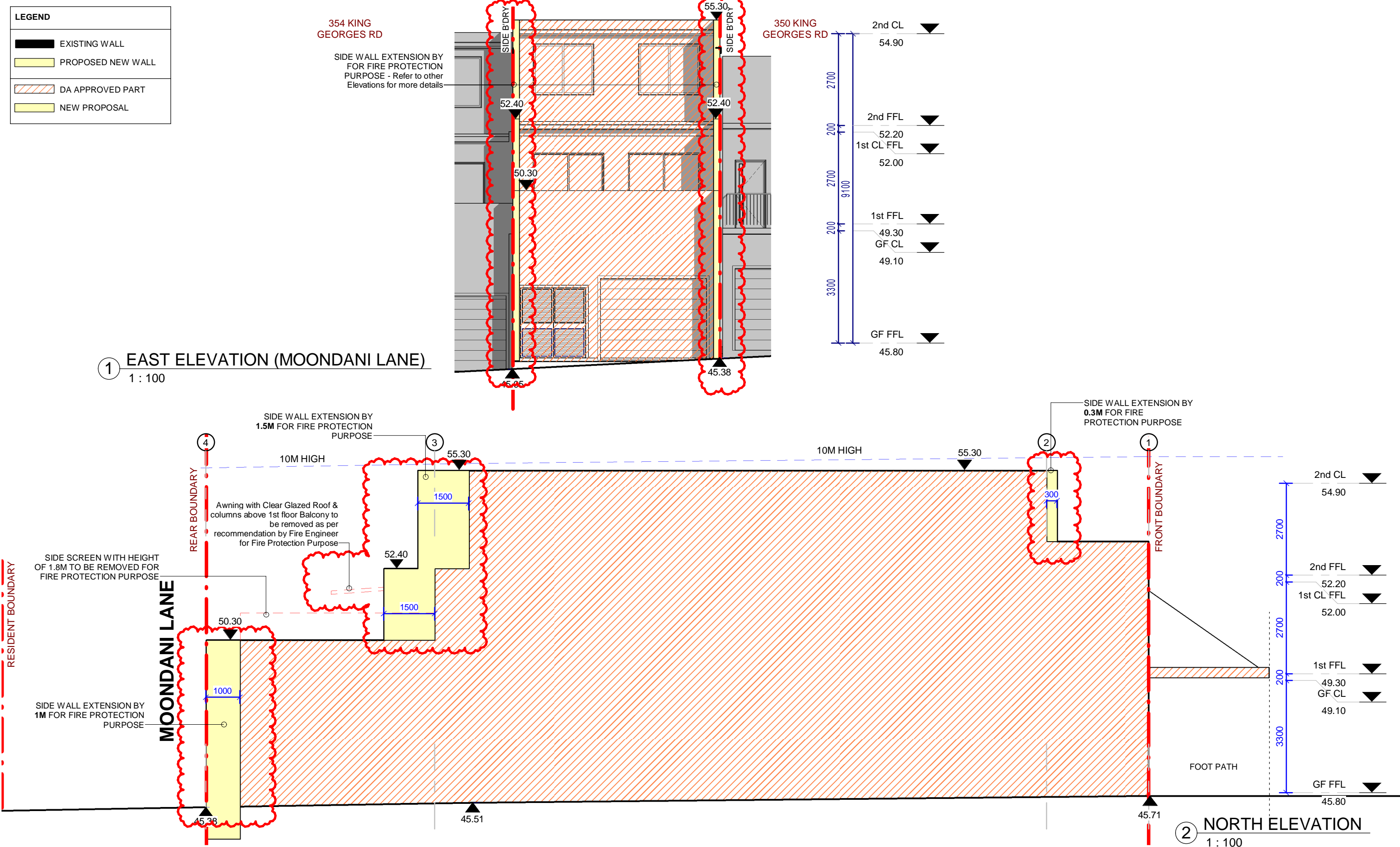
DRAWN BY:


LN

SHEET:





S4.55 03

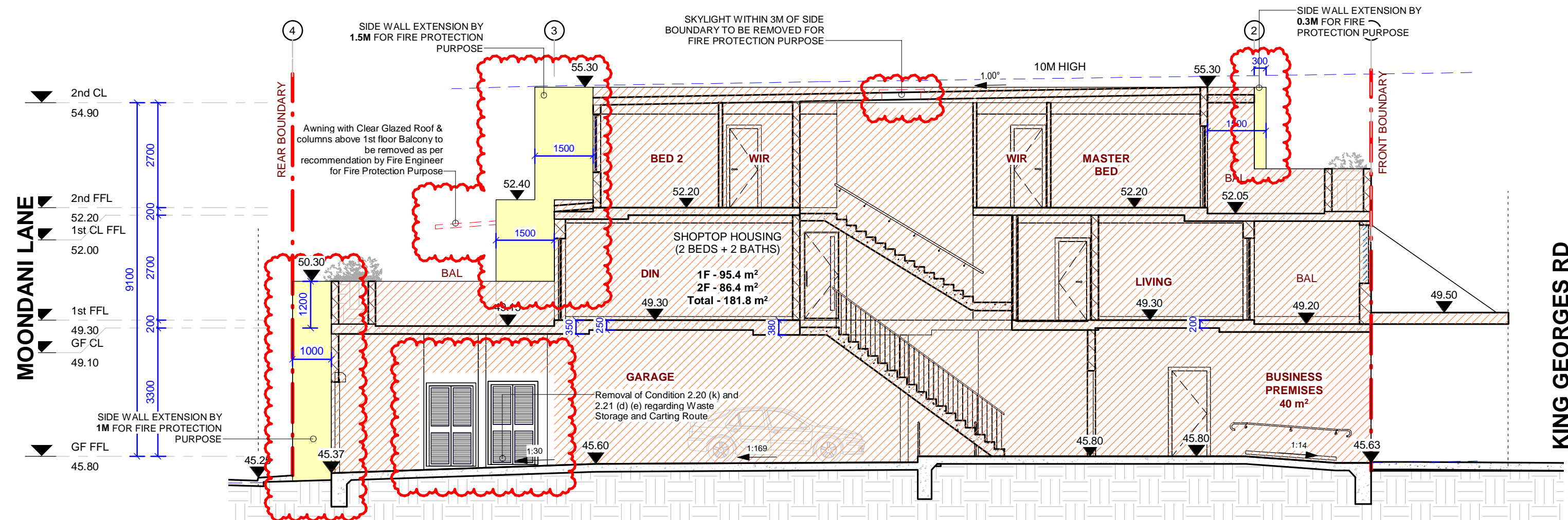





<b>GENERAL NOTES</b> <ul style="list-style-type: none"><li>- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.</li><li>- ALL DIMENSIONS ARE IN MILLIMETRES.</li><li>- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE</li><li>- GROUND LEVELS ARE APPROXIMATE ONLY.</li><li>- ALL TIMBER FRAME WORKS SHALL BE IN ACCORDANCE WITH TIMBER FRAME CODE.</li></ul>	REVISION	AMENDMENTS	Date		<b>EPW</b> 109 WOOLCOTT ST. EARLWOOD NSW 2206  P (02) 9591 5292 M 0402206326 E epwdesigns@gmail.com	<b>DRAWING TITLE:</b> NORTH & EAST ELEVATIONS  DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A SHOPTOP HOUSING AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209	PLOT DATE: 22/05/2025 5:00:01 PM	
	1	Amendment to Council	23/1/22				SCALE: As indicated (A3)	
	2	Revision 2	2/2/22				DRAWN BY: LN	
	3	Front facade	23/2/2022				SHEET: S4.55 04	
	4	Revision 3	13/2/25					
	5	Issue for S4.55	23/05/25					

SECTION 4.55 (1a) MODIFICATION

LEGEND	
	EXISTING WALL
	PROPOSED NEW WALL
	DA APPROVED PART
	NEW PROPOSAL



2 SECTION A-A  
1 : 100

<div>GENERAL NOTES</div> <div><div>- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCEMENT.</div><div>- ALL DIMENSIONS ARE IN MILLIMETRES.</div><div>- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE</div><div>- GROUND LEVELS ARE APPROXIMATE ONLY.</div><div>- ALL TIMBER FRAME WORKS SHALL BE IN ACCORDANCE WITH TIMBER FRAME CODE.</div></div>	REVISION	AMENDMENTS	Date	<div></div> <div><div>EPW</div><div>109 WOOLCOTT ST. EARLWOOD NSW 2206</div><div><div>P(02) 9591 5292</div><div>M0402206326</div><div>Eepwdesigns@gmail.com</div></div></div>	DRAWING TITLE: SECTION A-A		PLOT DATE: 22/05/2025 5:00:02 PM	
	1	Amendment to Council	23/1/22		DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A SHOPTOP HOUSING		SCALE: As indicated (A3)	
	2	Revision 2	2/2/22					
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					AT: NO. 352 KING GEORGES RD, BEVERLY HILLS 2209		DRAWN BY: LN	
					SECTION 4.55 (1a) MODIFICATION		SHEET:	S4.55 05